

SPECULATIVE INDUSTRIAL PRICE INDEX

Updated October 3, 2023



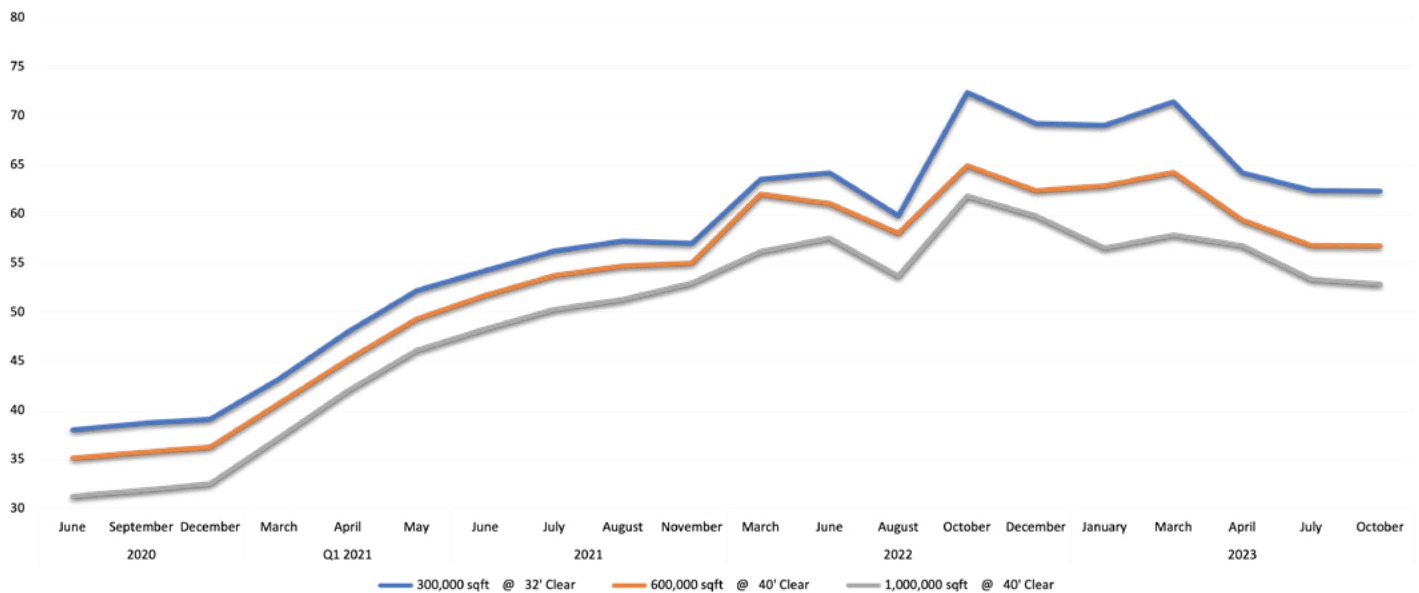
**BOB MOORE
CONSTRUCTION**

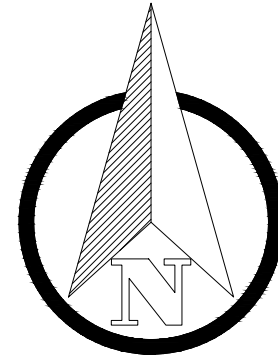
SQFT	32' Clear Height		36' Clear Height		40' Clear Height	
	Cost	Cost Per SF	Cost	Cost Per SF	Cost	Cost Per SF
108,160	\$8,330,114.35	\$77.02				
202,800	\$13,905,851.85	\$68.57				
305,760	\$19,063,937.05	\$62.35				
423,360	\$24,752,322.31	\$58.47				
510,720			\$28,614,378.92	\$56.03	\$29,383,711.80	\$57.53
606,480			\$33,658,258.03	\$55.50	\$34,431,747.64	\$56.77
729,120			\$39,676,282.56	\$54.42	\$40,761,676.09	\$55.91
833,280			\$44,268,308.35	\$53.13	\$45,530,278.20	\$54.64
902,720			\$47,039,221.78	\$52.11	\$48,586,855.27	\$53.82
1,006,880			\$52,131,116.65	\$51.77	\$53,685,365.88	\$53.32

Summary

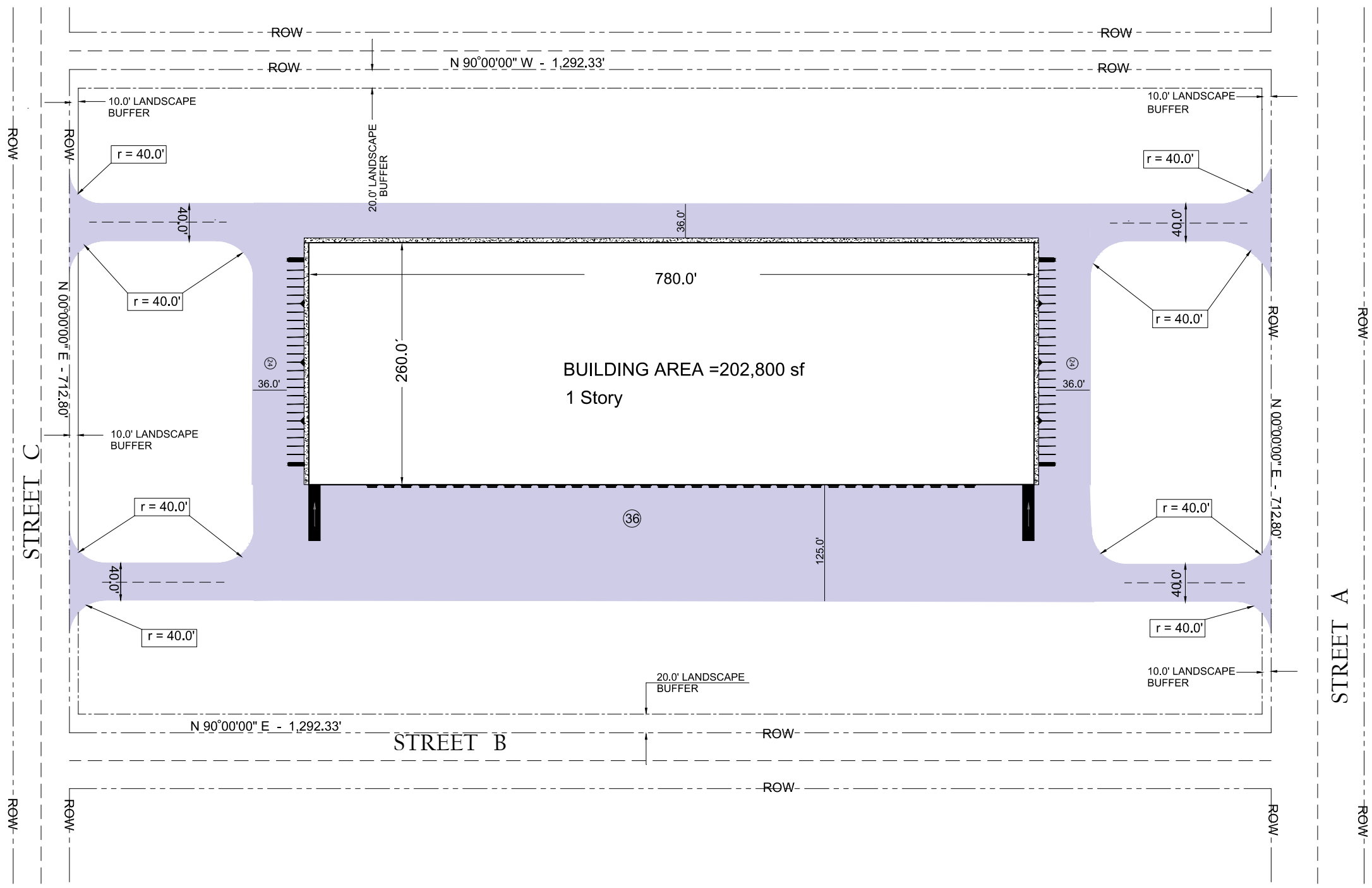
The DFW industrial construction market has seen some minor cooling in recent months, though the overall outlook remains positive given the area's strong economic fundamentals. As of October 1, 2023, pricing for speculative industrial buildings in DFW was down 0.12% quarter-over-quarter and 17.7% year-over-year as the market adjusts from recent pricing highs. The current industrial vacancy rate sits at approximately 7.5%, and real estate services firm Colliers forecasts that this could swell to 9% in coming months as new supply delivers. However, Colliers notes this is just a minor bump in what remains an attractive market for industrial real estate and construction, given DFW's business-friendly policies, skilled workforce, central location, and infrastructure connectivity.

NOTE: In addition to the pricing provided, *the following pages include site plans* for each building size listed above, in addition to a full scope of work.





1:60



LEGEND SYMBOLS:

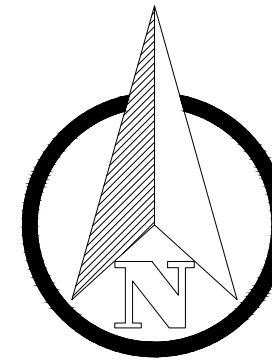
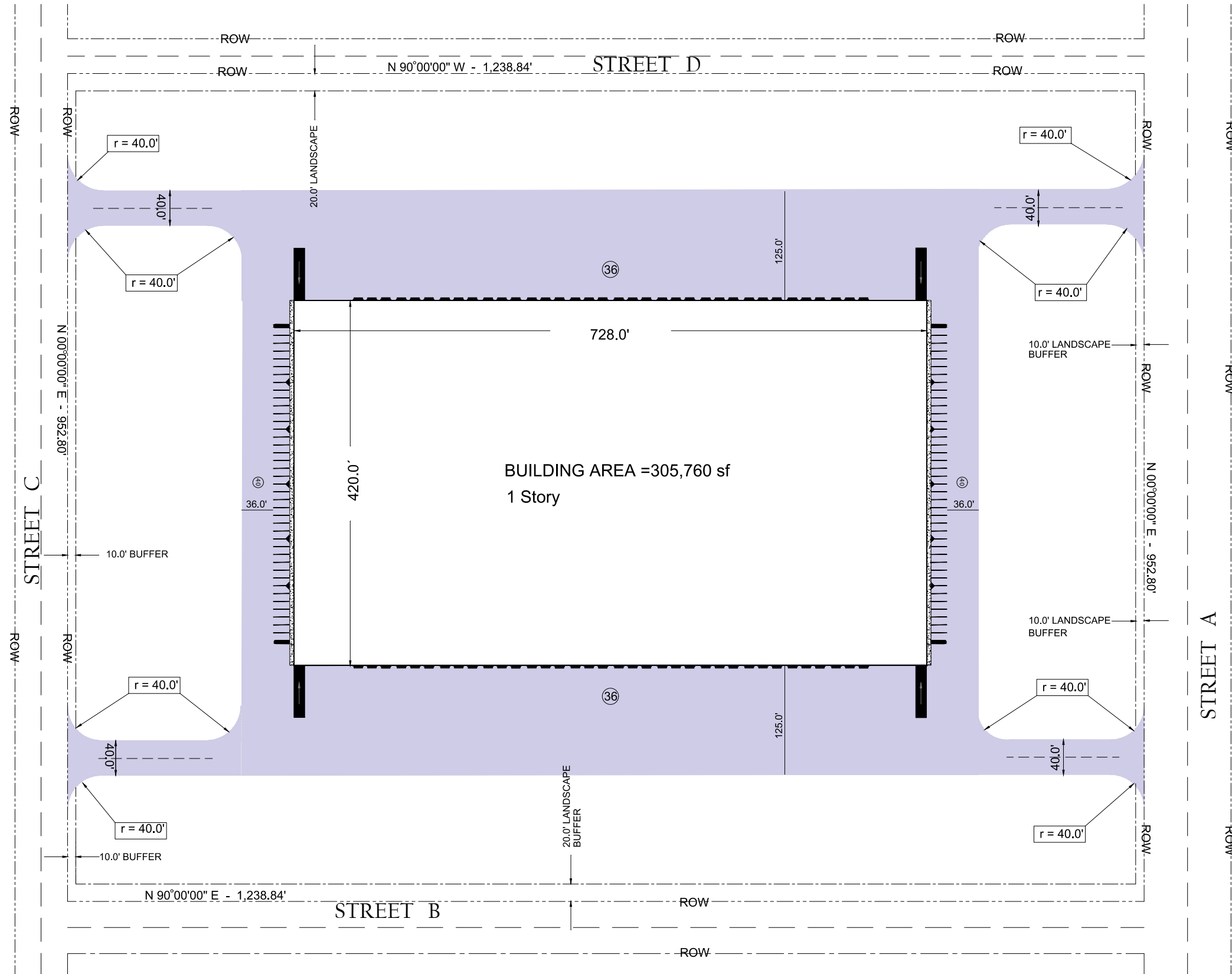
Legend	Description
	Property Line
	Landscape Buffer
	Concrete Pavement



DFW LOGISTICS CENTER - 200K

OVERALL SITE PLAN

(FOR DEMONSTRATIVE PURPOSES ONLY)



1:60

Legend	Description
	Property Line
	Landscape Buffer
	Concrete Pavement

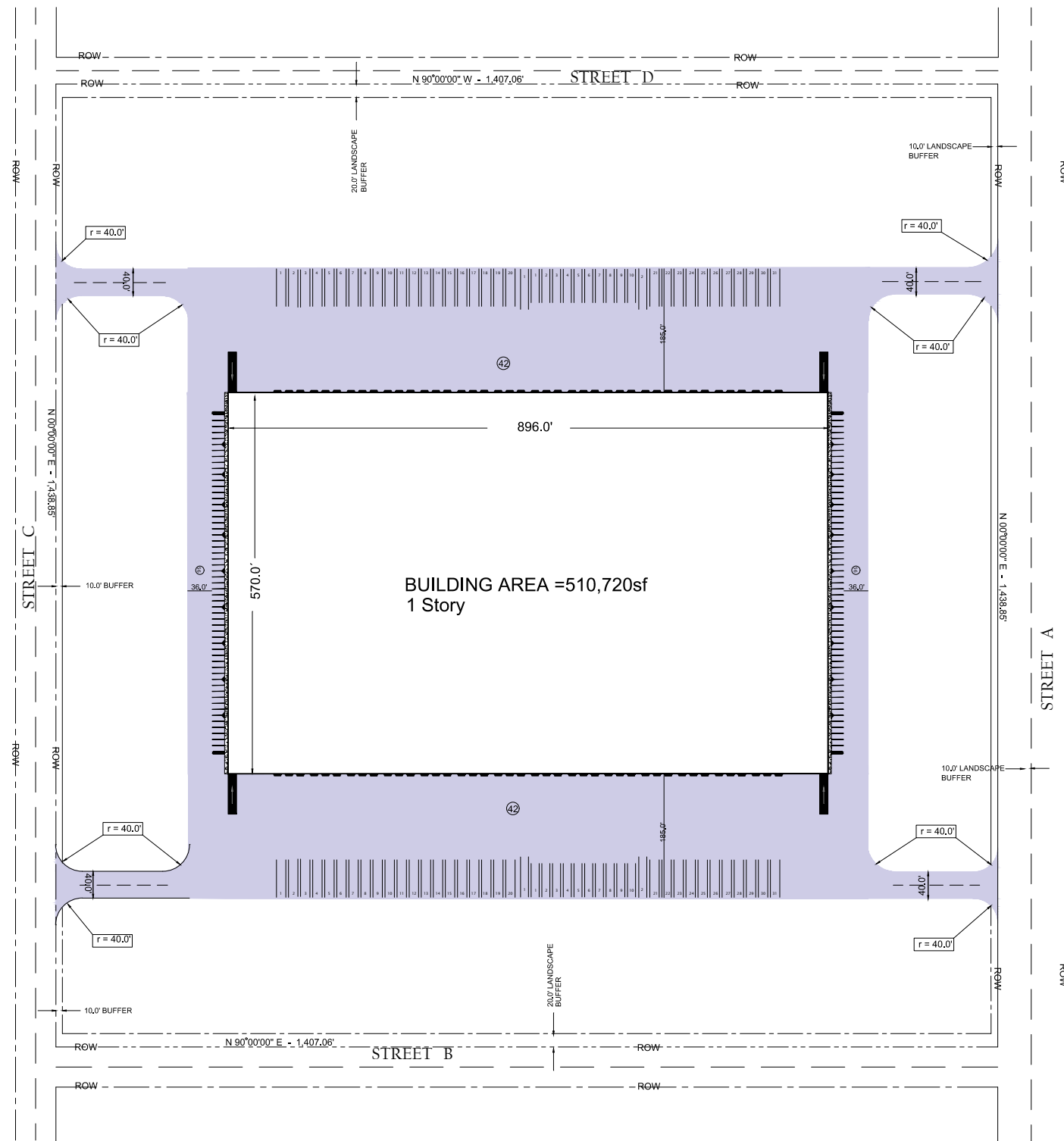
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OVERALL SITE PLAN

(FOR DEMONSTRATIVE PURPOSES ONLY)

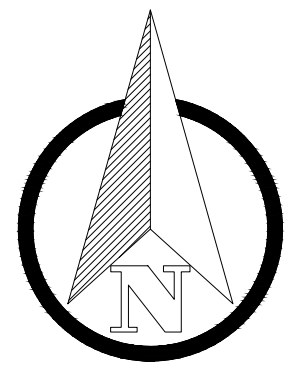


BOB MOORE
CONSTRUCTION



LEGEND SYMBOLS:

Legend	Description
	Property Line
	Landscape Buffer
	Concrete Pavement



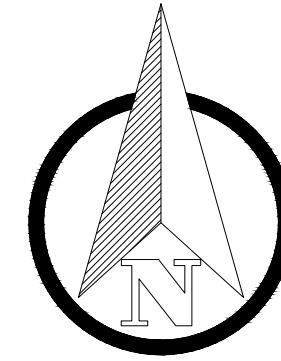
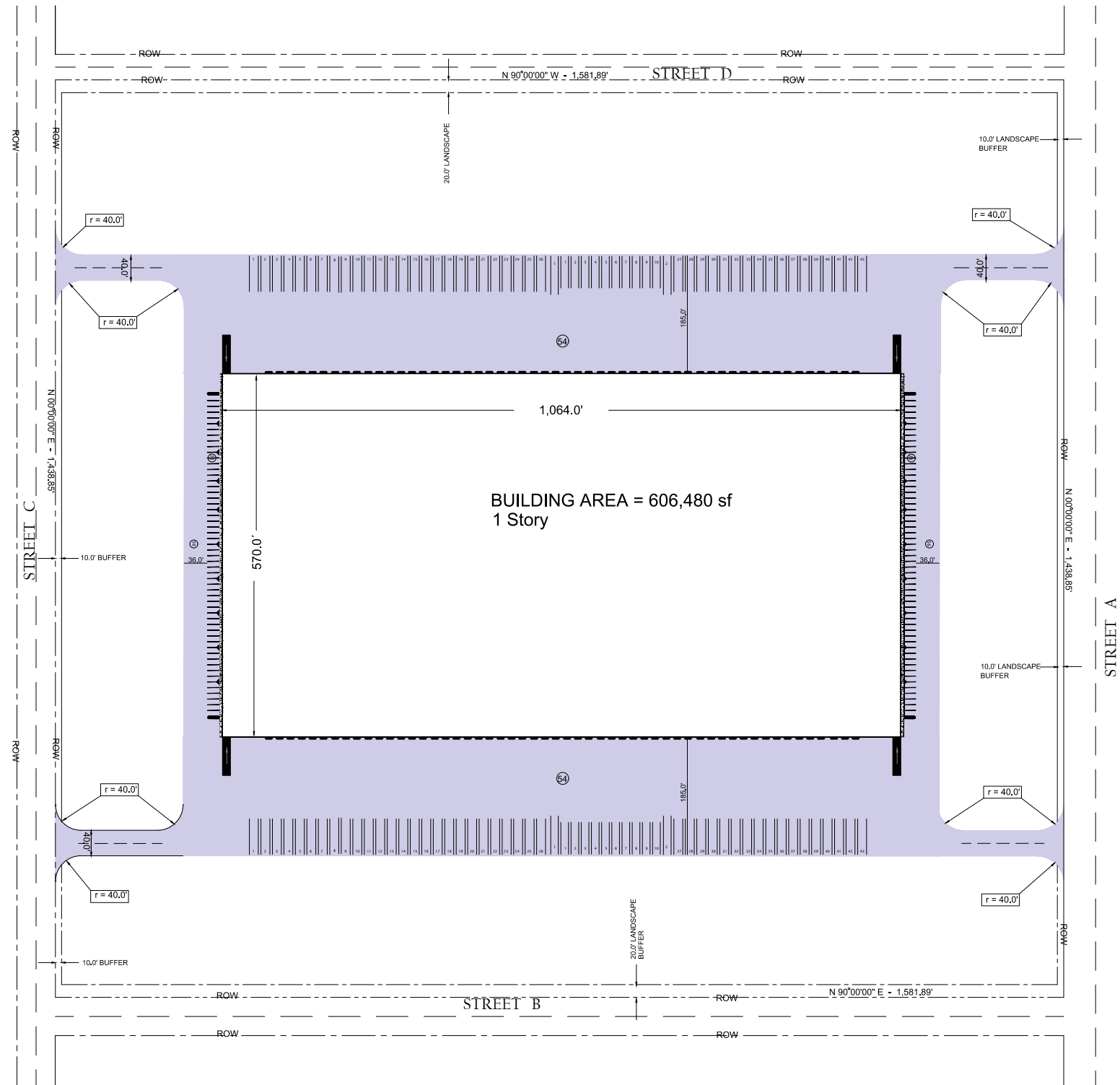
1:100

DFW LOGISTICS CENTER - 500K

OVERALL SITE PLAN

(FOR DEMONSTRATIVE PURPOSES ONLY)





1:100

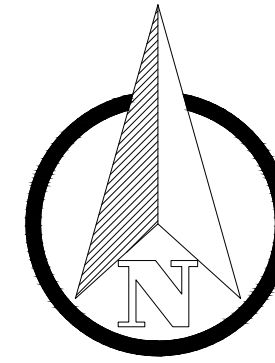
LEGEND SYMBOLS:

Legend	Description
	Property Line
	Landscape Buffer
	Concrete Pavement

DFW LOGISTICS CENTER - 600K

OVERALL SITE PLAN

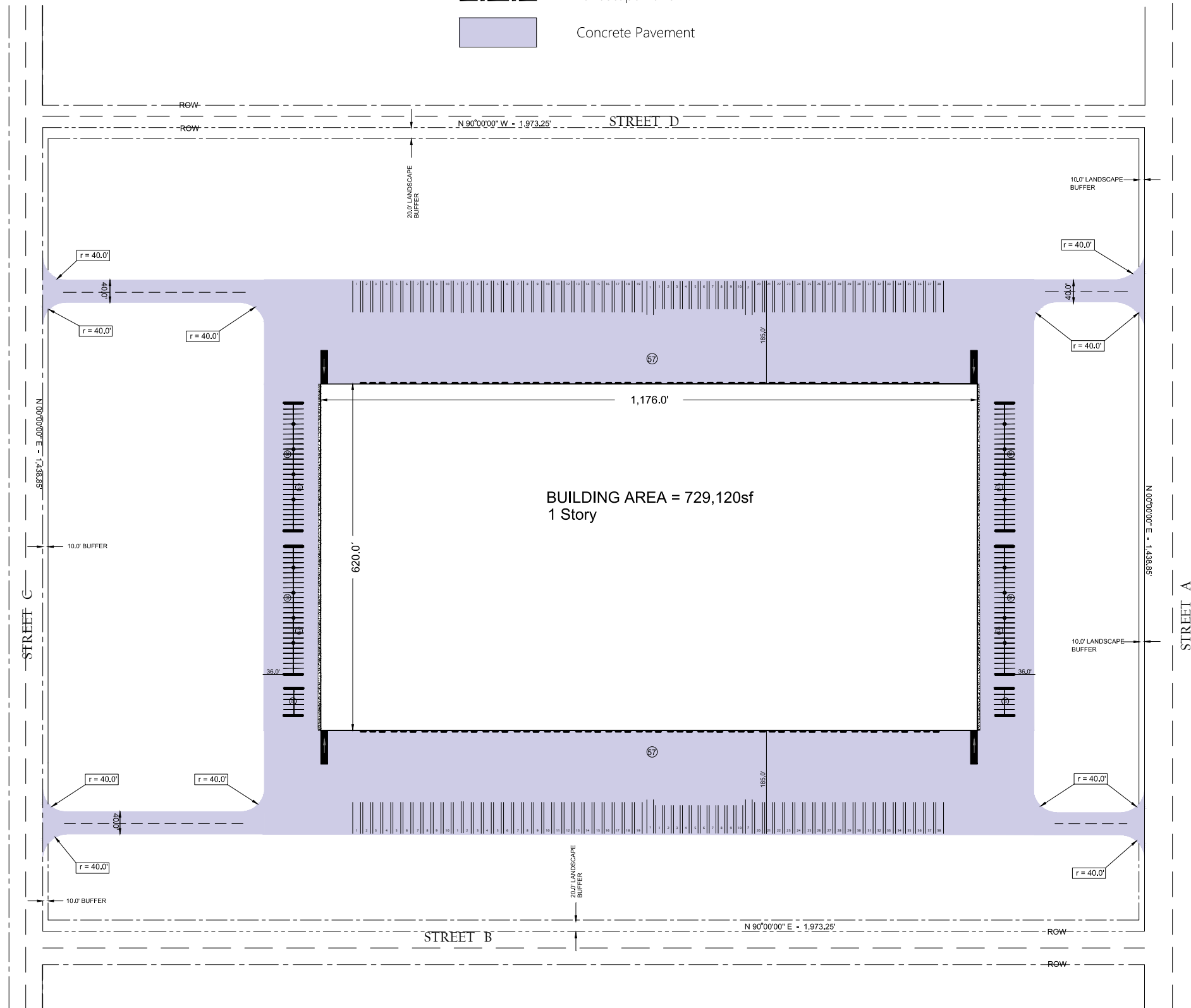
(FOR DEMONSTRATIVE PURPOSES ONLY)



1:100

LEGEND SYMBOLS:

Legend	Description
	Property Line
	Landscape Buffer
	Concrete Pavement



DFW LOGISTICS CENTER - 700k

OVERALL SITE PLAN

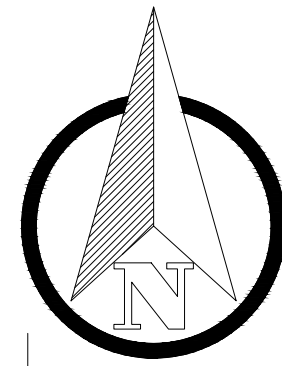
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DFW LOGISTICS CENTER - 800K

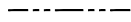


OVERALL SITE PLAN

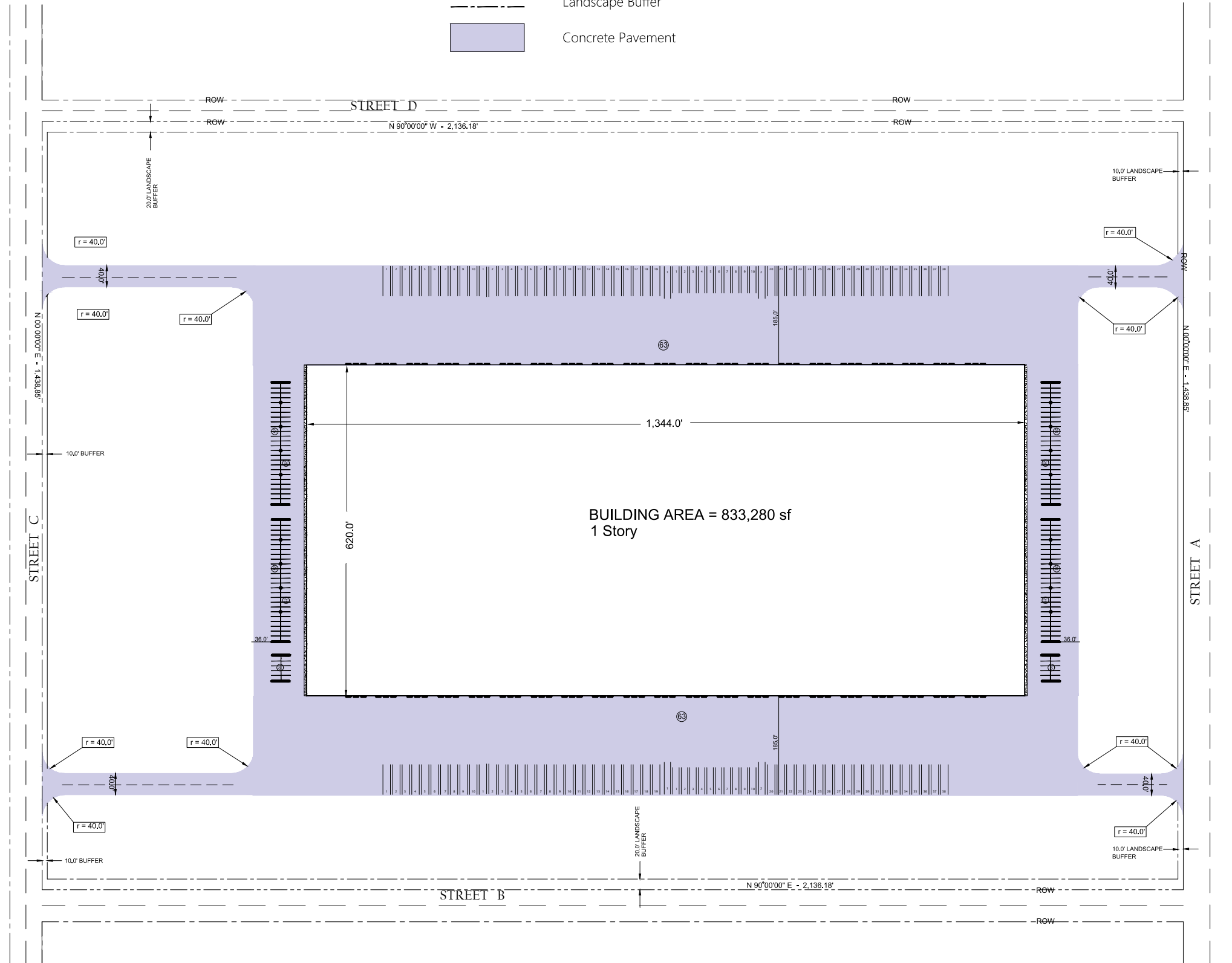
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1:100

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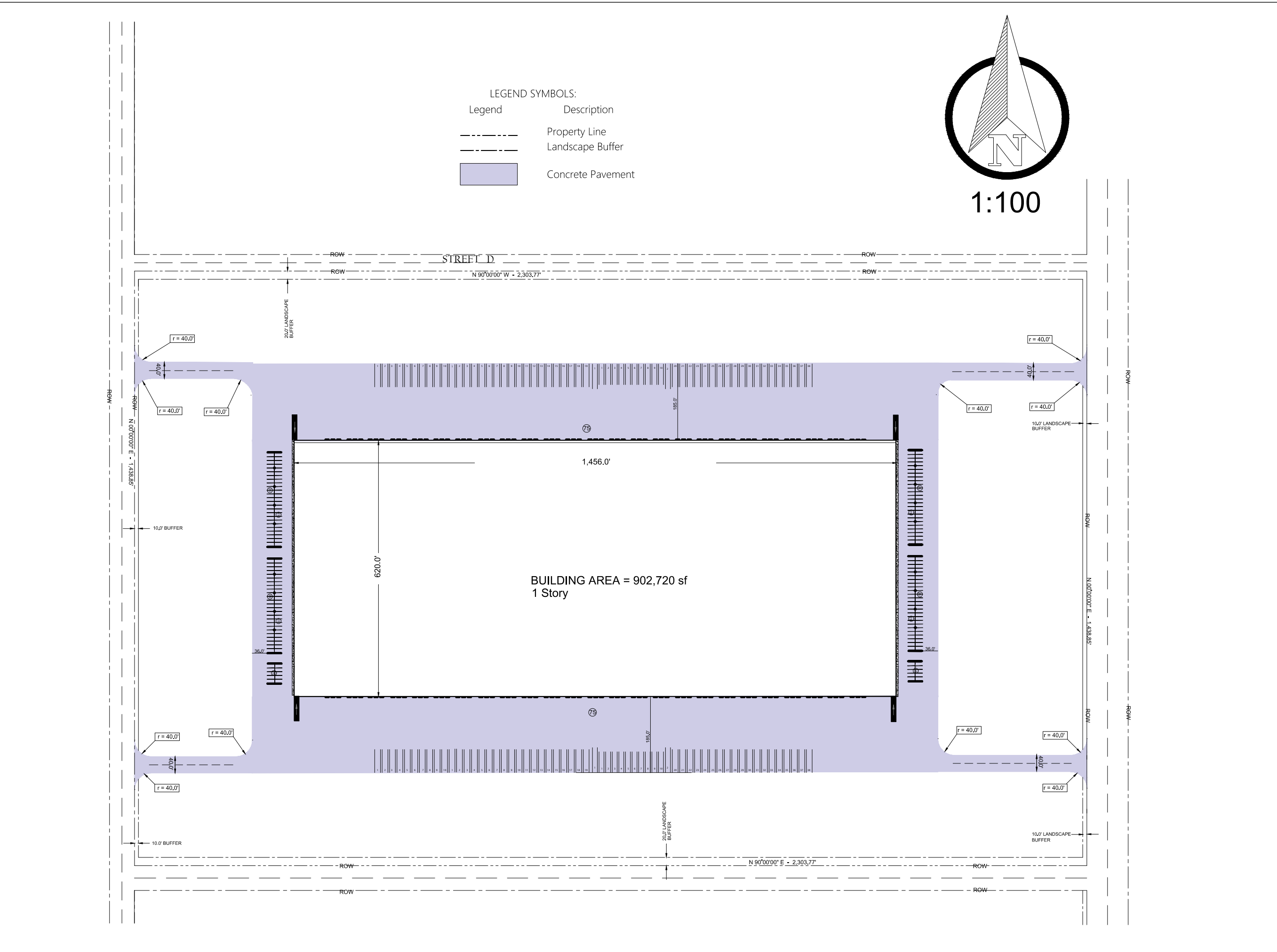
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	Property Line
	Landscape Buffer
	Concrete Pavement



DFW LOGISTICS CENTER - 900K

OVERALL SITE PLAN

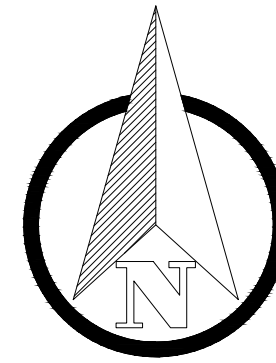
(FOR DEMONSTRATIVE PURPOSES ONLY)



DFW LOGISTICS CENTER - 1MM

OVERALL SITE PLAN

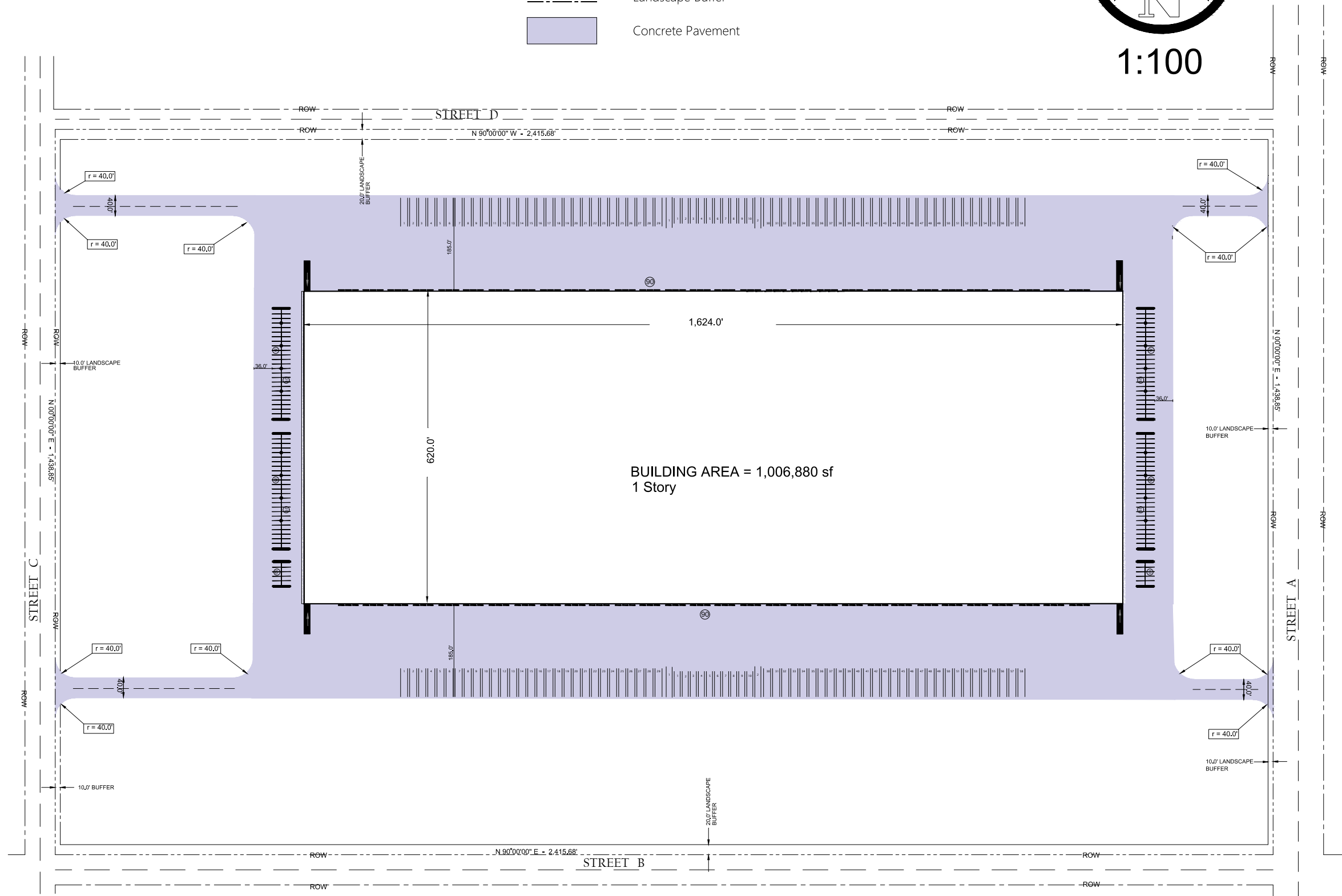
(FOR DEMONSTRATIVE PURPOSES ONLY)



1:100

LEGEND SYMBOLS:

Legend	Description
-----	Property Line
-----	Landscape Buffer
■	Concrete Pavement



Pricing Index		
00000: Summary		
1	Location: DFW, Texas	Clarification
5	Building Type: Rear Load/ cross dock	Clarification
6	Pricing is based on an AIA A101 Stipulated Sum contract	Clarification
7	Comply with FM Global standards	Clarification
01001: General Conditions		
1	Full time on-site supervision	Included
2	Project Management	Included
3	Construction staking and layout	Included
4	ALTA Survey	Excluded
5	Field office	Included
6	Plans reproduction	Included
7	Office supply expenses	Included
8	Mobile internet service	Included
9	Temporary utilities and facilities	Included
10	Temporary power and start up power	Included
11	Final clean	Included
12	Safety inspections	Included
13	EPA & Safety Services	Included
14	Tractor and rental equipment	Included
15	Barricades for traffic control,	Included
16	SWPPP plan & maintenance	Included
17	Periodic clean-up & trash removal	Included
18	Dumpsters	Included
19	Camera	Included
01100: Permits		
1	Building Permit	Included
2	Plan Review Fees	Included
3	Meter Fees and Tap Fees	Included
4	Impact Fees (Roadway/Traffic, Water, Sewer, and etc.)	Excluded
01990: Bonds		
1	Payment and Performance Bond	Excluded
2	City Required Maintenance Bond on Public Work	Included
01050: Construction Materials Testing		
1	Construction Materials Testing	Excluded
01040: Geotechnical Report		
1	Review and acknowledge receipt of owner provided preliminary geotechnical report.	Excluded
01850: Architectural & Engineering		
1	Architectural Design	Excluded
2	Civil Engineering	Excluded
3	Structural Engineering	Excluded
4	Landscape & Irrigation Design	Excluded
5	Mechanical, Electrical, & Plumbing Design	Included - design/build by subcontractor
6	Fire Protection Systems Design	Included - design/build by subcontractor
7	Architectural & Engineering Reimbursables	Excluded
8	TAS Review Fees and Inspections	Excluded



01950: Demolition		
1	Misc. site demo	Included
2	Site utilities demo	Excluded
3	Asbestos abatement	Excluded
02100: Earthwork		
1	Staking for earthwork scope	Included
2	Clear & grub	Included
3	Strip the site	Included
4	Stockpile strippings	Included
5	Mass grading	Included
6	Stockpile topsoil and respread	Included
7	Saw-cutting and removal at approaches	Included
8	Cutting and Filling the site	Included
9	Moisture conditioning 10' From FFE	Included
10	Extend moisture conditioning to 5' outside building perimeter and 10' outside entrances	Included
11	6" lime cap at 6%	Included
12	Scarify and recompact the paving subgrade	Included
13	Install erosion control measures - silt fence, existing inlet protection, rock check drams	Included
14	Lowered Site assumed to balance	Included
15	Construction entrance	Included
16	Haul off excess spoils	Excluded
17	Import topsoil	Excluded
02250: Site Utilities		
1	Storm drainage system	Included
2	Water distribution system	Included
3	Sanitary sewer system	Included
4	Potable water service and meter to within 5' of building	Included
5	Power company charges	Excluded - we will provide empty conduits and pull strings for the power company but any power company charges will be paid by owner.
6	Extend gas service to the building (No ATMOS approved plans provided, Allowance included)	Included as allowance
7	Rip Rap	Included
8	Offsite disposal of earth spoils generated during utilities construction	Excluded
9	Bollards at fire hydrants	Included
10	Public inspection fees	Included
11	Flowable fill	Excluded
02700: Termite Control		
1	Under slab Termite Control	Excluded
02600: Pavement Markings		
1	Fire lane striping	Included
2	Car parking striping	Included
3	Handicap signage	Included
02400: Fencing & Gates		
1	Fencing & gates	Excluded
02405: Retaining Walls		
1	Retaining Walls	Excluded



02650: Landscape & Irrigation		
1	Landscape & Irrigation allowance	Included as allowance
2	Rye conversion	Excluded
3	1 year landscape maintenance agreement	Excluded
03100: Turnkey Concrete		
1	Foundations - Straight Shaft Piers	Included
2	Slab - 32' Clear--6" thick. 36' Clear-- 7" thick, 40' Clear--8" thick	Included
3	10 Mil Stego at entire SOG	Included
4	Pumping of SOG	Included
5	Tilt wall panels	Included
6	Form liner allowance	Excluded
7	Set Bollards	Included
8	Reinforced concrete paving - 6" at auto parks with #3's @18" OC. 8" truck Parks with #3's @18, 9" at fire lane and truck courts with #3's @ 18" OC	Included
9	Casting beds and deadmen as needed for corner relief. Remaining panels will be cast on the slab.	Included
10	Backfill curbs	Included
11	4" Building Sidewalks	Included
12	Light Pole Bases	Included
13	Turn Lane / Decel Lane	Excluded
14	Drive In Ramps	Included
15	Dock Pits	Included
16	Dowel Baskets	Excluded
17	Diamond Dowels	Excluded
18	Flumes	Excluded
19	Curb walls	Excluded
20	FF 35 / FL 25	Included
21	Haul off excess foundation spoils	Excluded
04100: Masonry		
1	CMU Pump Room	Included
2	Stone Veneer	Excluded
05100: Structural Steel		
1	Furnish & erect all structural & misc. steel	Included
2	Joist/Deck	Included
3	Roof deck (22 gauge type B deck) - gray top, gray bottom	Included
4	Galvanized roof deck	Excluded
5	Deck attachment: Puddle Weld	Included
6	Erect tilt wall panels	Included
7	Roof access ladder	Included
8	Furnish bollards	Included
9	Dock pit angles	Excluded
10	Touch up paint	Excluded
11	White bottom roof deck clarification: the white bottom deck is not a finished product and may showcase smoke stains from welding or rust stain from exposure to the elements	Clarification



05200: Aluminum Composite Panels		
1	ACM Panels at exterior canopies	Excluded
2	Standard colors only	Excluded
06100: Rough Carpentry		
1	Wood Blocking	Included
2	Temporary railings	Included
07110: Roofing		
1	60 mil TPO	Included
2	Mechanically attached TPO membrane	Included
3	Roof hatch	Included
4	Continuous gutters and downspouts	Excluded
5	15 year NDL warranty	Included
6	2 year contractor warrenty	Included
7	R-9 roof insulation	Included
8	Set skylights	Excluded
9	Cover board	Excluded
10	Coping cap per plans	Included
11	Wood blocking	Included
12	Temporary stair tower	Included
13	Roofing manufacturers are not honoring pricing commitments. As a result, roof pricing will be reevaluated at time of shipment. Price increases or decreases will be passed on to the owner.	Clarification
14	Stair tower for roof access during construction	Included
15	Pricing assumes current pricing and <u>will</u> change upon delivery	Included
07200: Skylights		
1	Skylights	Excluded
07300: Waterproofing		
1	Hot pour paving sealants in construction joints only	Included
2	Urethane sidewalk sealants in construction joints	Included
3	Urethane building sealants at panel joints (interior and exterior), hollow metal door frames, and louver frames	Included
4	Euco 700 at speed bays only	Included
5	Light dust blast of panels to prepare for paint	Excluded
08100: Doors		
1	Hollow metal doors	Included
2	Hollow metal frames	Included
3	Door hardware	Included
4	Exit Devices	Excluded
08300: Overhead Doors		
1	Manufactured by Clopay	Included
2	Dock Doors - 9'-0" x 10'-0" un-insulated sectional doors, manually operated	Included
3	Drive In Doors - 12'-0" x 14'-0" un-insulated sectional doors, manually operated	Included
08200: Storefronts & Glass		
1	Aluminum storefront	Included
2	Glazing	Included
3	Clerestory windows	Excluded
09100: Metal Framing, Drywall and Ceilings		
1	Infill framing and plywood substrate	Excluded
2	Pump room	Excluded



09200: EIFS		
1	EIFS soffits	Excluded
09400: Painting		
1	Prime/Paint/texture exterior tilt wall panels	Included
2	Elastomeric paint	Excluded
3	Acrylic texture coating	Included
4	Paint hollow metal doors and frames	Included
5	Paints ladders and misc. steel	Included
6	Paint overhead doors	Excluded
7	Paint exposed steel structure	Excluded
8	Paint interior tilt wall panels	Excluded
9	Paint natural gas piping on the roof	Excluded
10	Paint columns safety yellow to 10' AFF	Excluded
09300: Wall Insulation		
1	Rigid insulation on warehouse walls	Excluded
09700: Floor Sealer		
1	Floor Sealer - (1) coat of Lapidolith	Included
10400: Misc. Specialties		
1	Knox Boxes	Included
2	Address Number	Included
3	Fire Extinguishers	Excluded
11100: Dock Equipment		
1	Dock Bumpers	Included
12100: Furniture, Furnishings, and Equipment		
1	FF&E	Excluded
15100: Plumbing		
1	Stub in Water line	Included
2	6" SS- 3 runs across building	Included
3	Natural gas system run on the roof to GUH	Included
4	Interior roof drains - primary	Excluded
5	overflow by scuppers	Included
6	Connect to civil sanitary	Included
7	Heavy duty floor cleanouts	Included
15200: HVAC		
1	Design build HVAC system	Included
2	Fire pump room ventilation / exhaust fan / louver / electric unit heater	Included
3	Smoke Exhaust Fans	Excluded
4	Smoke Study	Excluded
15300: Fire Protection		
1	Design build ESFR system	Included
2	Diesel fire pump	Excluded
3	Schedule 7 black pipe	Included
4	Backflow in pump room	Excluded



16100: Electrical		
1	Electrical service -Design build electrical service	Included
2	Utility transformers	Excluded - we assume these will be provided by the power company
3	Empty conduits for primary power and telephone to property line	Included
4	Power for HVAC equipment	Included
5	Code minimum fire alarm	Included
6	Electric Fire Pump	Included
7	Quad outlets in between each dock door	Excluded
8	Code minimum egress lighting	Included
9	Site lighting-per plans	Included
10	LED canopy lighting	Excluded
11	High Temp Wire	Excluded
12	Flowable fill at electric utilities	Excluded
Finish Out		
1	Office finish out	Excluded
2	Warehouse finish out	Excluded
Insurance		
1	General Liability	Included
2	Business Auto	Included
3	Workers Compensation	Included
4	Builders Risk	Included
5	Umbrella	Included
Exclusions		
1	Flowable fill	Excluded
2	FARS System	Excluded
3	Overhead power relocation	Excluded
4	Gas line relocation	Excluded
5	Gutter and downspouts	Excluded



WANT MORE INFORMATION?

If you would like to discuss this price index in more detail, please contact Chandler Tucker at 817.640.1200 or ctucker@generalcontractor.com.



BOB MOORE CONSTRUCTION

HEADQUARTERS

3611 William D. Tate Ave
Grapevine, Texas 76051

CONTACT

817.640.1200
www.GeneralContractor.com



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